



**Economic and Development Services Department**

**Date:** December 20, 2022 File: 03-05

**To:** Mayor Carter and Members of Council

**From:** Warren Munro, HBA, RPP, Commissioner  
Economic and Development Services

**Re:** **Infrastructure and Road Improvements at 4889 Stevenson Road North**

## **1.0 Purpose**

On September 20, 2022, Finance Committee considered correspondence FIN-22-92 concerning a request for road improvements on 4880 Stevenson Road North and referred it to Engineering Services staff for a report back at the time of the 2023 Budget deliberations. The correspondence referred to staff references both 4880 and 4889 as the address subject to the request. Engineering Services staff have subsequently confirmed with the author of FIN-22 that the subject site is 4889 Stevenson Road North.

The purpose of this Memorandum is to provide background information and a proposed work plan moving forward related to the infrastructure needs of Stevenson Road North from Raglan Road West to Coates Road West.

Attachment 1 to this Memorandum is a copy of FIN-22-92 which may be found at the following link: <https://pub-oshawa.escribemeetings.com/filestream.ashx?DocumentId=9678>.

Attachment 2 to this Memorandum shows the location of 4889 Stevenson Road North and that portion of Stevenson Road North which is open and improved and open and unimproved.

## **2.0 Input From Other Sources**

The following have been consulted in the preparation of this Memorandum:

- Commissioner, Corporate and Finance Services
- Commissioner, Community and Operations Services

## **3.0 Analysis**

### **3.1 Background on Stevenson Road North**

There are two section of Stevenson Road North from Raglan Road West to Coates Road West:

1. Open and Improved – Raglan Road West to a point 633.49 metres (2,078 ft.) north of Raglan Road West; and,
2. Open Unimproved – Coates Road West to a point 1,350 metres (4,429 ft.) south of Coates Road West.

Open and improved roads mean the road allowance has been dedicated by by-law establishing it as a public highway. It further means that it is fully maintained in accordance with applicable City/Provincial road maintenance standards.

Open and unimproved roads mean the road allowance has been dedicated by by-law establishing it as a public highway. However, only minimal maintenance is undertaken to provide basic means of access for farming equipment.

The City applies a systematic processes that facilitates decision-making in regards to the construction, acquisition, operation, maintenance, renewal, replacement, and disposition of assets in the most cost-effective manner. Considering whole life costs, climate change and adaptation, and risk.

Rehabilitative work is recommended by Community and Operations Services staff as an interim solution. However, both Economic and Development Services staff and Community and Operations Services staff agree that this road section is not the highest priority of the northern roads.

Potential capital (Rehabilitative) work is estimated at \$326,281.60 for the improved section without any pre-engineering investigations. This is currently not planned within forecast period due to competing priorities and limited resources.

Potential capital work is estimated at \$432,750.00 for the unimproved section without any pre-engineering investigations. This amount is also not planned within the forecast due to competing priorities and limited resources.

### **3.2 Request in FIN-22-92**

FIN-22-92 raises two main issues.

Firstly, the resident requests a permanent fix to the issue of potholes on both the open and improved portion and open and unimproved portions of the road.

Secondly, FIN-22-92 notes that snow plow can cause windrows on the east side of the road (i.e. the same side of the road as 4889 Stevenson Road North). This conflicts with the driveway and impacts the landscaping at the resident's dwelling.

### **3.3 Staff Comments on FIN-22-92**

#### **3.3.1 Stevenson Road North (Open and Improved Portion)**

The portion of Stevenson Road North from Raglan Road West to a point 633.49 metres (2,078 ft.) north of Raglan Road West is open and improved. A high level estimate to bring this portion of Stevenson Road North to a rural standard is provided below:

- Upgrade costs (Rural Standard) \$1,723,301.00;
- Rehabilitate costs (Surface Treatment, with limited design) \$326,281.60; and,
- Not planned within forecast.

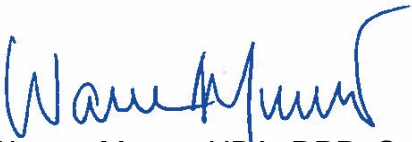
### **3.3.2 Stevenson Road North (Open and Unimproved Portion)**

The portion of Stevenson Road North from Coates Road West to a point 1,350 metres (4,429 ft.) south of Coates Road is open and unimproved. As this portion of Stevenson Road North is used primarily for farm equipment access, there are currently no plans to change the road classification. However, if the road classification was changed to open and improved, a high level estimate to bring this portion of Stevenson Road North to a rural standard is provided below:

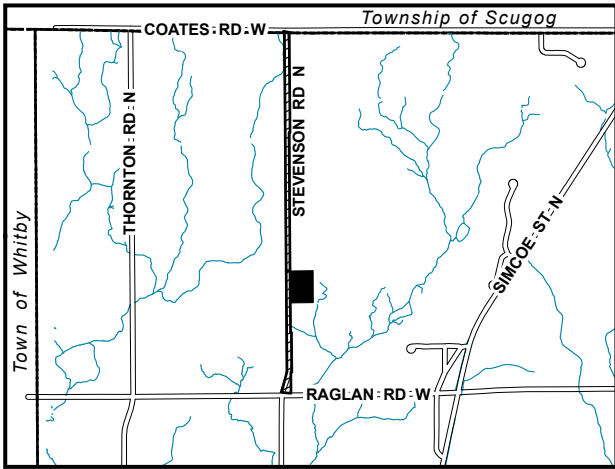
- Upgrade costs (Rural Standard) \$3,672,433.68;
- Rehabilitate costs (Surface Treatment, with limited design) \$432,750.00; and,
- Not planned within forecast.

### **3.3.3 Snow Plow Operations**

In order to address the concerns of the resident with respect to snow plow operations, Community and Operations Services staff have already made adjustments to the snow plow operation on this stretch of Stevenson Road North such that the windrow is now directed to the western side of the road where there are no conflicts with residential driveways or private landscaping.



Warren Munro, HBA, RPP, Commissioner,  
Economic and Development Services Department



## Attachment 2

### Economic and Development Services

Subject: Infrastructure and Road Improvements at  
4889 Stevenson Road North

Ward: Ward 1

File: 03-05



Subject Site



Open and Improved Portion of Stevenson Road North



Open and Unimproved Portion of Stevenson Road North

